



Goodwin Fox

A Fresh Approach To Property

RESIDENTIAL SALES & LETTING AGENTS



22 Egroms Lane

£150,000

Withernsea, HU19 2LZ



2 BED SEMI-DETACHED BUNGALOW

Welcoming to the market this well presented 2 bedroom semi-detached bungalow with off street parking. Briefly comprising of kitchen, lounge, two bedrooms and bathroom this property would be ideal for someone looking to downsize and retire to the coast. This property benefits from a lovely front and rear garden with summer house, garage and off street parking via a driveway as well as lovely views of the golf course to the front of the property. Not to be missed, call our office to arrange a viewing today! 01964 61181.





Hallway

A double uPVC door opens into the entrance hallway, carpeted throughout and with a central heating radiator.

Kitchen 9'10" x 8'6" (3m x 2.6m)

Fitted with base and wall units throughout this kitchen has a gas hob, electric oven, plumbing for a washing machine, sink and two uPVC windows with views onto the well presented front garden.

Lounge 10'9" x 18'8" (3.3m x 5.7m)

The lounge is carpeted throughout, a large floor to ceiling window to the front aspect allows plenty of natural light into the room as well as allowing views onto the golf course. This room houses a gas fire and central heating radiator.

Bedroom 1 11'9" x 8'2" (3.6m x 2.5m)

This double bedroom has fitted wardrobes and a large linen cupboard, carpet throughout, central heating radiator and sliding uPVC patio doors onto the garden.

Bedroom 2 9'10" x 7'10" (3m x 2.4m)

Bedroom two is a single bedroom with built in wardrobe, uPVC window, central heating radiator and carpet throughout.

Bathroom 6'6" x 5'2" (2m x 1.6m)

The bathroom in this property is carpeted and tiled throughout, it houses a bath with shower attachment, sink, toilet, central heating radiator and a uPVC window.

Garden

A very well presented garden can be found to the rear of this property with up and over garage and summer house. The garden is mainly patio with an array of planted flower beds.

AGENT NOTES

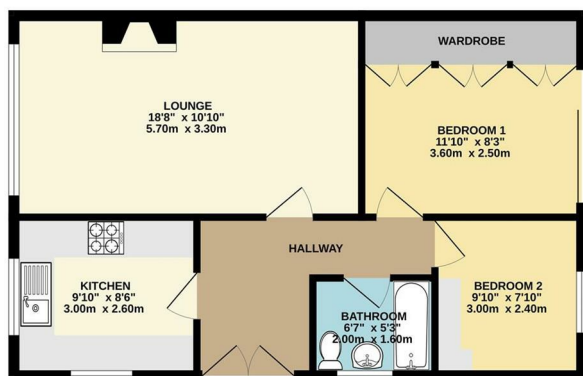
Parking: off street parking is available with this property

Heating & Hot Water: both are provided by a

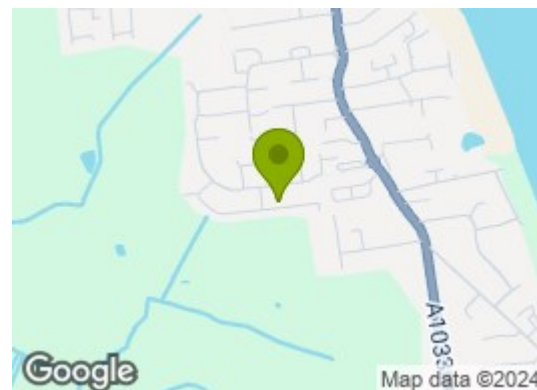
gas fired boiler.

Mobile & Broadband: we understand mobile and broadband (fibre to the premises) are available. For more information on providers, predictive speeds and best mobile coverage, please visit Ofcom checker.

GROUND FLOOR
584 sq.ft. (54.3 sq.m.) approx.

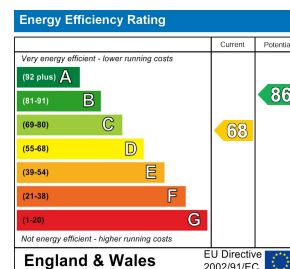


TOTAL FLOOR AREA: 584 sq.ft. (54.3 sq.m.) approx.
Whilst every attempt has been made to ensure the accuracy of the foregoing contained area, measurements of plots, sections, yards and any other parts are approximate and no responsibility is taken for any error, omission or misstatement. This plan is for illustrative purposes only and should be used as such by any prospective purchaser. The measures, systems and appliances shown have not been verified and no guarantee as to their operability or efficiency can be given.
Scale: 1:1000 (approx.)



Energy Efficiency Graph

Tenure: Freehold



Council tax band B.

Directions: From our office head south on Queen Street continuing through the traffic lights and turn right on Victoria Avenue following the signs for the golf course. Turn left off Victoria Avenue onto Highfield, right onto Ryecroft Drive and left onto Egroms Lane where this property is towards the left hand side.

These particulars, whilst believed to be accurate are set out as a general outline only for guidance and do not constitute any part of an offer or contract. Intending purchasers should not rely on them as statements of representation of fact, but should satisfy themselves by inspection or otherwise as to their accuracy. No person in this firm's employment has the authority to make/give any representation or warranty in respect of the property.